

DEPARTMENT OF PUBLIC WORKS • BUILDING DIVISION

101 Pauahi Street, Suite 7, Hilo, Hawai'i 96720

74-5044 Ane Keohokālole Highway, Building E, Kailua-Kona, Hawai'i 96740

(808) 961-8331, Fax (808) 961-8410

(808) 323-4720, Fax (808) 327-3509

NOTICE OF VIOLATION

August 14, 2017

CERTIFIED MAIL

7015 1660 0000 6868 1115

AOAO COUNTRY CLUB HAWAII INC

75-169 Hualalai Road

Kailua-Kona, Hawaii 96740-1744

CERTIFIED MAIL

7014 2120 0001 3973 5957

State of Hawaii

Department of Land and Natural Resources Land Division

Attn: Gordon C. Heit

75 Aupuni Street Room 204

Hilo, Hawaii 96720

RE: Notice of Violation, Case CE2017-665H
121 Banyan Drive Hilo, Hawaii 96720
Tax Map Key (3) 2-1-005:020

To whom it may concern:

The County of Hawai'i, Department of Public Works - Building Division (DPW-BLDG") is sending you a Notice of Violation ("NOV") because DPW-BLDG inspected the structures and premises at 121 Banyan Drive Hilo, Hawaii 96720, Tax Map Key (3) 2-1-005:020 ("the site") and found violations of Sections 5-19, 5-40, 5-48, 5-49, 9-9, 9-10, 9-15, 9-26, 17-15, 17-24 and 17-37 of the Hawai'i County Code ("HCC").

You must commence corrective action on violations indicated in this NOV on or before **September 14, 2017**. Failure to commence corrective action within the specified time may result in an ORDER being issued that may impose administrative and/or civil fines and/or referral to the appropriate legal authorities for action.

I. BACKGROUND

On August 4, 2017, DPW-BLDG inspectors inspected the site to determine whether conditions were in compliance with applicable County codes and regulations. During the visit, DPW-BLDG inspectors observed numerous violations of HCC Chapter 5 – Building, Chapter 9 – Electrical, and Chapter 17 – Plumbing. The violations include, but are not limited to,

construction and renovation work that has been completed without the required permits and inspections as well as numerous substandard and unsafe conditions that exist on the site.

During the aforementioned site visit, DPW-BLDG inspectors observed inadequate exits. Lack of required fire separations between corridors, rooms and floors, structural hazards, unpermitted storage areas and renovation work done. Electrical inspectors observed nonconforming and defective electrical installations. Plumbing inspectors observed unpermitted gas piping and plumbing fixture installations.

Attached for your reference are Exhibit "B," which includes photographs of the unpermitted work.

II. NOTICE OF VIOLATION

Based upon the foregoing, a review of County records, and the observations of our inspectors, you are in violation as follows:

Code and/or Ordinance and Section(s)	Violations (s)
HCC Section 5-19. Permit required.	Construction and renovation work was performed without the required permits such as the laundry and storage areas, renovations and structural repairs.
HCC Section 5-40. Inspections.	Required inspections were not conducted on and approved for any of the aforementioned construction and renovation work.
HCC Section 5-48 (2)(B) Structural hazards.	Deteriorated concrete walkways and screen tiles used as guardrails.
HCC Section 5-48 (3)(B) Presence of a nuisance.	Unsound pool barrier.
HCC Section 5-48 (6) Inadequate Exits.	Inadequate exits. Openings in the exterior walls within 10 feet of the exterior exit stairways used as a required exit are not protected by a self-closing fire-rated assembly. Door stops used to keep the exit door in the open position. Required illuminated exit signs not posted at required exits. Dilapidated existing exit signs. Unprotected corridor walls used as required exits.
HCC Section 5-49 Unsafe buildings.	All substandard buildings which are not provided with adequate egress are unsafe buildings.
HCC Section 9-9. Inspections.	Electrical wiring was energized, used, and

	operated without required electrical inspections and approval of electrical work performed.
HCC Section 9-10. Nonconforming and defective installations.	Various nonconforming and defective installations throughout the entire hotel.
HCC Section 9-15. Compliance; standards of performance.	Various nonconforming and defective installations throughout the entire apartment/hotel that does not comply with the provisions of this chapter.
HCC Section 9-26. Permit required; exceptions.	Electrical work was performed without the required permits. Various electrical work throughout the entire hotel.
HCC Section 17-15. Permit required.	Plumbing work was performed without the required permits. Installation of gas piping and plumbing fixtures.
HCC Section 17-24. Inspection required.	Plumbing work was installed and is being used without the required inspections.

The relevant sections of the HCC cited above and other relevant sections are provided in Exhibit "A."

III. CORRECTIVE ACTIONS

To be in compliance with the above-mentioned section(s), the following corrective actions are required by the deadline date of **September 14, 2017**:

- (1) Obtain required permits and inspections in accordance with the HCC from the DPW-BLDG for the aforementioned violations; **OR**
- (2) Remove all unpermitted work and restore structures to comply with original permits, and obtain required permits and inspections for all structural hazards, defective electrical work and plumbing work.

YOUR DEADLINE FOR COMPLIANCE IS: September 14, 2017.

DPW-BLDG will consider corrective action commenced if you begin the corrective process as directed above. Additional time may be provided for completion of corrective actions if deemed reasonably necessary and a request is made in writing to DPW-BLDG. Upon commencement and completion of the corrective actions, please contact the DPW-BLDG inspectors so that the corrective actions can be verified. Contact information is listed below in the conclusion section.

IV. WARNING

If corrective action is not commenced by the deadline date of **September 14, 2017**, then an ORDER will be issued that may impose administrative and/or civil fines and/or referral of the matter to the appropriate legal authorities for action.

V. CONCLUSION

Please do not hesitate to contact the DPW-BLDG immediately if you wish to further discuss this matter, or to request an extension of a deadline listed herein. Please contact the appropriate supervisors as follows:

Supervising Building Inspector, David Abelaye at 961-8471.
Supervising Electrical Inspector, Gary Kahooohanohano at 961- 8486.
Supervising Plumbing Inspector, Rodney Astrande at 961-8487.

Respectfully,

David Yamamoto, P.E., Building Chief

c: Frank DeMarco – Director
Allan Simeon – Deputy Director
Malia Hall – Deputy Corporation Counsel
Jai Ho Cheng – Deputy Building Chief
David Abelaye – Supervising Building Inspector
Gary Kahooohanohano – Supervising Electrical Inspector
Rodney Astrande – Supervising Plumbing Inspector

Exhibit "A"

HCC Section 5-19. Permit required.

- (a) No person, firm, or corporation shall erect, construct, enlarge, alter, repair, move, convert, or demolish any building or structure in the County, or cause the same to be done, without first obtaining a separate building permit for each building or structure from the building official; provided that one permit may be obtained for a dwelling and its accessories, such as fence, retaining wall, pool, storage and garage structures.
- (b) Permits will be further required for, but not limited to, the following:
 - (1) All Television/Radio Communication Towers, etc., not regulated by the Public Utility Commission.
 - (2) Complete new installations of all solar water heating systems, or the complete replacement of existing system with all new components, or relocating of panels from roof to ground or vice versa, along with plumbing and electrical permits.
 - (3) Construction or renovation of Handicap Accessible routes from parking lot to building or from building to building on a lot.
 - (4) Water tanks or catchments intended for potable/household use, regardless of height or size. For additional requirements where water tank or catchment systems are used as means of fire protection, see Chapter 26 of the Hawai'i County Code.
 - (5) Retaining walls four feet and higher. Stepped or terraced retaining walls 8'-0" of each other are considered to be one wall when determining wall height.

EXCEPTIONS: A permit is not required for:

- (1) Work located primarily in a public way, public utility towers, bridges, and poles, mechanical equipment not specifically regulated in this code, and hydraulic flood control structures.
- (2) Temporary structures used during the construction of a permitted structure, temporary buildings, platforms, and fences used during construction or for props for films, television or live plays and performances.
- (3) Re-roofing work with like material and installation of siding to existing exterior walls which will not affect the structural components of the walls for Groups R-3 and U Occupancies.
- (4) Temporary tents or other coverings used for private family parties or for camping on approved campgrounds.
- (5) Television and radio equipment (i.e. antennas, dishes) accessory to R-1 and R-3 Occupancies.
Supports or towers for television and radio equipment 6'-0" or less in height.
- (6) Awnings projecting up to 4 feet and attached to the exterior walls of buildings of Group R-3 or U Occupancy; provided that the awnings do not violate the provisions for "yards" in Chapter 25 (Zoning) of the Hawai'i County Code.
- (7) Standard electroliers not over 35 feet in height above finish grade.
- (8) Installation of wallpaper or wall covering which are exempted under the provisions of Section 801.1, Interior Finishes, Chapter 8, IBC.
- (9) Repairs which involve only the replacement of component parts of existing work with similar materials for the purpose of maintenance, and which do not aggregate over \$4,000 in valuation in any twelve-month period, and do not affect any electrical or mechanical installations.
- (10) Painting and decorating.
- (11) Installation of floor covering.

- (12) Cabinet work for R-3 Occupancy and individual units of R-1 and U Occupancies which are not regulated (under Section 310.3.12 Cooking Unit Clearances of this code). Wall mounted shelving not affecting fire resistance or structural members of wall. This is dealing with clearances to cabinets and range clearance to combustible.
- (13) Work performed under the jurisdiction of Federal Government and/or located in Federal property.
- (14) Swimming pools for one and two-family dwelling units less than 24" in depth
- (15) Department of Transportation, Harbors, - section 266-2, Hawai'i Revised Statutes.
- (16) Fences 6'-0" or less in height.
- (17) Detached structures for animal shelters, storage sheds, towers, and similar uses not more than 6'-0" in height.
- (18) One-story detached accessory structures used as tool and storage sheds, playhouses and similar uses, provided the floor area does not exceed a) 120 square feet (11 m²); b) does not exceed 600 square feet for agricultural zoned lands. (Building cannot be located within building setback as required by the Zoning, Chapter 25 of Hawai'i County Code. Verify setback requirements with the Planning Department).
- (19) Detached decks or platforms less than 30" in height above grade. (Building cannot be located within building setback as required by the Zoning, Chapter 25 of Hawai'i County Code. Verify setback requirements with the Planning Department).
- (20) Playground equipment, excluding assembly or similar waiting areas.
- (21) Replacement of solar water heating components (i.e. panels, tanks) in the same location and of the same type, however; plumbing and/or electrical permits required.
- (22) Wells and Reservoirs – Hawai'i Revised Statutes, chapter 178. Check requirements of other governmental agencies.
- (23) Work performed under the jurisdiction or control of the State Department of Accounting and General Services (DAGS).
- (24) Water tanks or catchment systems 5,000 gallons or less in size with a height to width ratio of not more than 2:1, to be used strictly for non-potable/household purposes such as agriculture, irrigation or stock, and that are independent of the potable/household system.

HCC Section 5-40. Inspections.

- (a) All construction or work for which a permit is required shall be subject to inspection by the building official. Approval as a result of an inspection shall not be construed to be an approval of a violation of the provisions of this code or of any other ordinance. Inspections presuming to give authority to violate or cancel the provisions of this code or of any other ordinances shall not be valid.
- (b) It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection purposes. Neither the building official nor the County shall be liable for any expense entailed in the removal or replacement of any material required to allow inspection.
- (c) A survey of the lot may be required by the building official to verify that the structure is located in accordance with the approved plans.

HCC, Chapter 5, Section 5-48. Substandard buildings.

Any building or portion thereof in which there exists any of the following listed conditions to an extent that it endangers the life, limb, health, property, safety or welfare of the public or the occupants thereof shall be deemed and hereby is declared to be a "substandard building:"

- (1) Inadequate sanitation shall include but not limited to the following:
 - (A) Lack of, or improper water closet, lavatory, bathtub or shower in a dwelling unit.

- (B) Lack of, or improper water closets, lavatories, and bathtubs or showers in a hotel.
 - (C) Lack of, or improper kitchen sink in a habitable building.
 - (D) Lack of hot and cold water to basins, sinks, tubs and showers in R-1 Occupancies.
 - (E) Lack of hot and cold water to basins, sinks, tubs and showers in a dwelling unit or efficiency living unit.
 - (F) Lack of, or improper operation of required ventilating equipment.
 - (G) Lack of minimum amounts of natural light and ventilation required by this code.
 - (H) Room area or space dimensions less than the minimum required by this code.
 - (I) Lack of required lighting.
 - (J) Dampness of habitable rooms as determined by the Health Department.
 - (K) Infestations of insects, vermin or rodents as determined by the health officer.
 - (L) General dilapidation or improper maintenance.
 - (M) Lack of connection to required sewage disposal system.
 - (N) Lack of adequate garbage and rubbish storage and removal facilities as determined by the health officer.
- (2) Structural hazards shall include but not be limited to the following:
- (A) Deteriorated or inadequate foundations.
 - (B) Defective or deteriorating flooring or floor supports.
 - (C) Flooring or floor supports of insufficient size to carry imposed loads with safety.
 - (D) Members of walls, partitions or other vertical supports that split, lean, or buckle due to defective material or deterioration.
 - (E) Members of walls, partitions or other vertical supports that are of insufficient size to carry imposed loads with safety.
 - (F) Members of ceiling, roofs, ceiling and roof supports, or other horizontal members which sag, split, or buckle due to defective material or deterioration.
 - (G) Members of ceilings, roofs, ceiling and roof supports, or other horizontal members that are of insufficient size to carry imposed loads safely.
 - (H) Fireplaces or chimneys that separate, bulge or settle due to defective material or deterioration.
 - (I) Fire places or chimneys which are of insufficient size or strength to carry imposed loads with safety.
- (3) Presence of a nuisance including:
- (A) Any public nuisance known at common law or in equity jurisprudence.
 - (B) Any attractive nuisance which may prove detrimental to children whether in a building or on the premises of a building. This includes any unfenced man-made swimming pools, abandoned wells, shafts, or basements; any structurally unsound fences; and any debris or vegetation affecting the structural stability of structures.
 - (C) Whatever is dangerous to human life or is detrimental to health, as determined by the health officer.
 - (D) Overcrowding a room with occupants.
 - (E) Insufficient ventilation or illumination.
 - (F) Inadequate or unsanitary sewage or plumbing facilities.
 - (G) Uncleanliness, as determined by the health officer.
 - (H) Whatever renders air, food or drink unwholesome or detrimental to the health of human beings, as determined by the health officer.
- (4) Faulty weather protection, which shall include but not be limited to, the following:
- (A) Deteriorating, crumbling or loose plaster.
 - (B) Deteriorating or ineffective waterproofing of exterior walls, roof, foundations, or floors, including broken windows or doors.
 - (C) Defective or lack of weather protection for exterior wall covering, including lack of paint, weathering due to lack of paint or other approved protective covering.

- (D) Broken, rotted, split or buckled exterior wall covering or roof coverings.
 - (5) Inadequate Maintenance. Any building or portion thereof which is determined to be an unsafe building in accordance with this code.
 - (6) Inadequate Exits. All buildings or portions thereof not provided with adequate exit facilities as required by this code except those buildings or portions thereof whose exit facilities conformed with all applicable laws at the time of its construction and which have been adequately maintained. When an unsafe condition exists through lack of, or improper location of exits, additional exits may be required to be installed.
 - (7) Any building or portion thereof that is not being occupied or used as intended or permitted.
- (2012, Ord. No. 12-27, sec. 2.)

HCC, Chapter 5, Section 5-49. Unsafe buildings.

All substandard buildings which are structurally unsafe or not provided with adequate egress, or which constitute a fire hazard, or are otherwise dangerous to human life, or which in relation to existing use constitute a hazard to safety, health or public welfare by reason of inadequate maintenance, dilapidation, obsolescence, fire hazard or abandonment, as specified in this code or any other effective ordinance are, for the purpose of this chapter, "unsafe buildings."

(2012, Ord. No. 12-27, sec. 2.)

HCC Chapter 5, Section 5-51. Buildings found to be unsafe; Notice to owner.

- (a) Whenever the building official has examined or caused to be examined any building and has determined that such building is an unsafe building:
 - (1) The building official shall commence proceedings to cause the repair, rehabilitation, vacating, removal and/or demolition of the building;
 - (2) Such building shall automatically be deemed and are hereby declared to be a public nuisance;
 - (3) The building official shall give to the owner of such building written notice of violation in accordance with section 5-59 and as further described below; and
 - (4) The building official shall cause to be posted at each entrance to the buildings ordered vacated a notice to read: "DO NOT ENTER. UNSAFE TO OCCUPY. DEPARTMENT OF PUBLIC WORKS. COUNTY OF HAWAII."
- (b) The notice required by subsection (a)(3) above shall require the owner or person in charge of the building or premises, to commence the required repairs or improvements or demolition and removal of the building or structure or portions thereof within forty-eight hours, and to complete all such work within ninety days from date of notice, provided that the building official may provide for more time for completion if deemed reasonably necessary. The notice shall also require the building or portion thereof to be vacated forthwith and not reoccupied until the required repairs and improvements are completed, inspected, and approved by the building official.
- (c) The notice required by subsection (a)(4) above shall remain posted until the required repairs, demolition or removal are completed. Such notice shall not be removed without written permission of the building official, and no person shall enter the building except for the purpose of making the required repairs or of demolishing the building.

(2012, Ord. No. 12-27, sec. 2.)

HCC Section 9-9. Inspections.

- (a) All electrical wiring, for which a permit is required, shall be inspected and approved by the authority having jurisdiction before being concealed, energized, or used. All fees required by this chapter shall be paid by the permit applicant prior to the energizing or use of such wiring.
- (b) No person shall use, operate, or maintain, or cause or permit to be used, operated, or maintained, any electric wiring until it is approved.

- (c) No serving agency shall supply or cause or permit to be supplied, permanent electric energy to any electric service until the service has been inspected and approved by the authority having jurisdiction.
- (d) No person shall conceal, enclose, or cover, or cause or permit to be concealed, enclosed, or covered, any portion of any electric wiring or equipment in any manner which will interfere with or prevent the inspection and approval thereof.
- (e) Fixtures, appliances, devices, or equipment shall not be connected to any electric wiring until the rough electric wiring, including conductors, have been inspected and approved by the authority having jurisdiction.
- (f) All obstructions, covers, plates, tapes, light fixtures, etc., which make impracticable the making of a thorough inspection of electric wiring shall be removed upon notice (either verbal or in writing) to do so, and shall be kept removed until the electric wiring has been inspected and approved.
- (g) The supervising electrician or electrical contractor shall be present on the job site upon request of the authority having jurisdiction.

HCC Section 9-10. Nonconforming and defective installations.

Whenever any electrical installation is found to have been installed, altered, changed, or reconstructed contrary to the provisions of this chapter or any other law, whenever any electrical installation is found to be in use contrary to the provisions of this chapter or any other law, or whenever any electrical installation, which complied with the existing laws, ordinances, and regulations in effect when the electrical work therein was performed, is found to be unsafe or dangerous to persons or property, the administrative authority shall give the owner or the person in control of that installation a written notice stating the findings with respect to that installation and order the owner or other person in control to make the corrections to be set forth in the written notice. When found to be unsafe or dangerous to persons or property, the defective installation shall be disconnected from the power source and tagged as unsafe to operate until corrective action is made, inspected, and approved.

Section 9-15. Compliance; standards of performance.

- (a) No person shall do or cause to be done any electrical work which does not comply with the provisions of this chapter.
- (b) No person shall perform any work covered by this chapter in violation of the provisions of chapter 448E, Hawai'i Revised Statutes.

HCC Section 9-26. Permit required; exceptions.

No person shall perform any electrical work or cause or permit the same to be done, unless a permit therefor has been obtained from the authority having jurisdiction with the following exceptions:

- (1) Electric work and installations to which the provisions of this chapter are expressly declared to be not applicable.
- (2) Installation of any portable motor or other portable appliance energized by means of a cord or cable having an attachment plug, and if such cord or cable is permitted by this chapter.
- (3) Repair of any fixed motor, water heater, air conditioning controls or other appliance, or replacement of any fixed motor with another having the same horsepower rating and situated at the same location.
- (4) Replacement of receptacles and switches.
- (5) Maintenance work by a licensed electrician per chapter 448E, Hawai'i Revised Statutes.

- (6) Emergency electrical work by a person to whom a permit may be issued (see sections 9-28 and 9-41 of this chapter).
- (7) The provisions of the foregoing exceptions shall not apply to any repairs or replacement of electrical devices, apparatus, or appliances which were originally installed without a permit, when such permit is required for the original installation, or when energized by or a part of any hazardous or illegal wiring system.
- (8) The foregoing exceptions from permit requirements shall not be deemed to allow any electrical wiring to be done in a manner contrary to other provisions of this chapter.

HCC Section 17-15. Permit required.

- (a) It shall be unlawful for any person to install, remove, alter, repair or replace or cause to be installed, removed, altered, repaired or replaced any plumbing, gas or drainage piping work or any fixture or water heating or treating equipment in a building or premises without first obtaining a permit to do such work from the authority having jurisdiction.
- (b) A separate permit shall be obtained for each building or structure.
- (c) No person shall allow any other person to do or cause to be done any work under a permit secured by a permittee except individuals in such permittee's employ.
- (d) Plumbing permits shall be posted in a conspicuous place on the job site. Permits shall remain posted until the plumbing work has passed a final inspection by the authority having jurisdiction. Failure to comply with this provision shall subject the violator to a \$25 fine.

HCC Section 17-24. Inspection required.




- (a) All plumbing, gas, and drainage systems shall be inspected by the authority having jurisdiction to ensure compliance with all the requirements of this code. Approval as a result of an inspection shall not be construed to be an approval of a violation of the provisions of this code or of any other ordinance. Inspections presuming to give authority to violate or cancel the provisions of this code or of any other ordinance shall not be valid.
- (b) It shall be the duty of the permit applicant to cause the work to remain accessible and exposed for inspection purposes. Neither the authority having jurisdiction nor the County shall be liable for any expense entailed in the removal or replacement of any material required to perform the inspection.



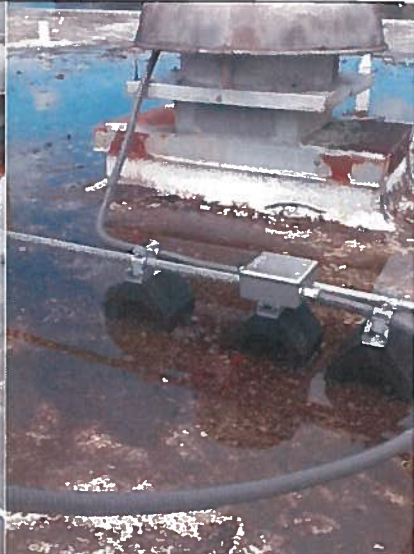
Section 17-37. Dangerous and insanitary construction.



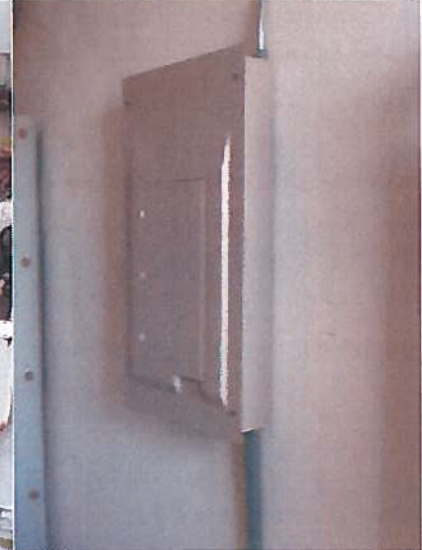
- (a) Any portion of a plumbing system found by the authority having jurisdiction to be insanitary as defined herein is hereby declared to be a nuisance. "Insanitary" means a condition which is contrary to sanitary principles or is injurious to health. Conditions to which "insanitary" shall apply include, but are not limited to, the following:
 - (1) Any trap which does not maintain a proper trap seal.
 - (2) Any opening in a drainage system, except where lawful, which is not provided with an approved water-sealed trap.
 - (3) Any plumbing fixture or other waste discharging receptacle or device, which is not supplied with water sufficient to flush it and maintain it in a clean condition.

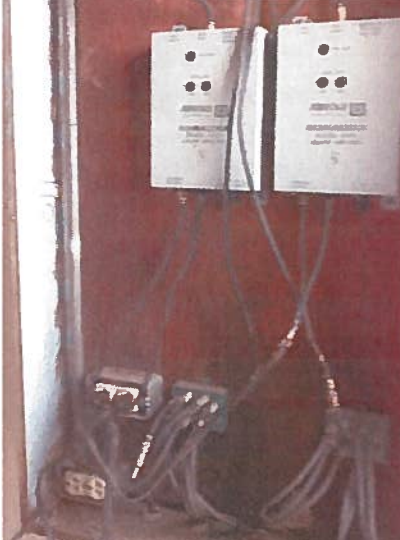
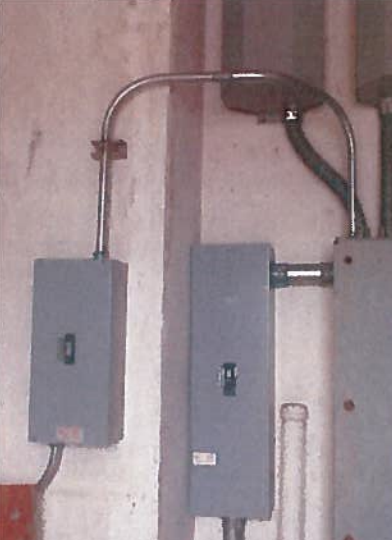

EXHIBIT "B"




		
<p>Country Club Resort</p>	<p>Lobby area receptacle cover missing.</p>	<p>Lobby area in proper installation of light fixture over another light fixture.</p>
	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.3(B) equipment must be labeled and listed for use.</p>




		
<p>Ground level pool pump room receptacle cover corroded</p>	<p>Ground level pool pump room receptacle cover installed over another device.</p>	<p>Ground level area receptacle for laundry washer next elevators receptacle cover corroded and missing</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>




		
<p>All stairwells numerous light fixtures missing protective lenses</p>	<p>Roof top of building unpermitted electrical wiring for exhaust fans.</p>	<p>Roof top of building unpermitted electrical wiring for exhaust fans.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 410.22 fixtures to be covered by means of a luminaire canopy.</p>	<p>Per HCC Section 9-26. Permit required</p>	<p>Per HCC Section 9-26. Permit required</p>

		
<p>Chiller AC unit and its associated equipment on roof now abandoned all electrical equipment corroded.</p>	<p>Chiller AC unit and its associated equipment on Roof now abandoned all electrical equipment corroded.</p>	<p>Rooftop electrical room this load center installed without proper permits.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.11 Deteriorating agents.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.11 Deteriorating agents.</p>	<p>Per HCC Section 9-26. Permit required</p>




		
<p>Rooftop electrical room receptacles on data com board requires covers</p>	<p>Rooftop electrical room this equipment used for chill unit (not in operation) should be disconnected and locked out or removed.</p>	<p>Rooftop electrical room this equipment used for chill unit (not in operation) should be disconnected and locked out or removed.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>


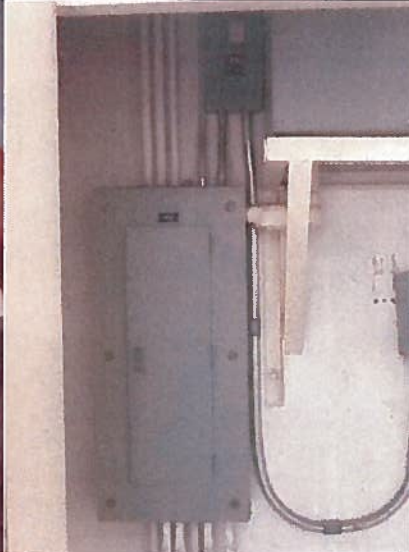

		
<p>Rooftop electrical room this equipment used for chill unit (not in operation) should be disconnected and locked out or removed.</p>	<p>Rooftop electrical equipment used for chill unit(not in operation) should be disconnected and locked out or removed.(corroded)</p>	<p>Rooftop electrical room this equipment used for chill unit(not in operation) should be disconnected and locked out or removed.(corroded)</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.11 Deteriorating agents.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.11 Deteriorating agents.</p>




		
<p>Light fixture in elevator equipment room on roof. Not a proper installation of a light fixture over another light fixture.</p>	<p>Guestroom corridors (All floors) the use of NMB cable in suspended ceilings not approved in these areas.</p>	<p>Guestroom corridors (All floors) Emergency lighting not working and damaged and must to be replaced.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.3(B) equipment must be labeled and listed for use.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 334.12(A)(2) Type NMB cable uses not permitted</p> <p>Exposed in dropped or suspended ceilings in other than one and two family and multifamily dwellings.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>


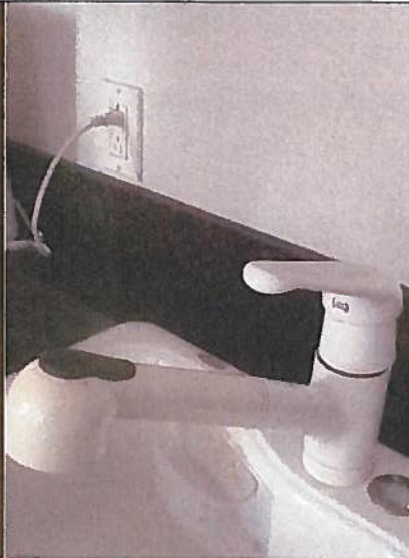

		
<p>Guestroom corridors</p> <p>(All floors) junction boxes in ceilings covers required</p>	<p>Guestroom corridors</p> <p>(All floors) junction boxes in ceilings covers required</p>	<p>Guestroom corridors</p> <p>(All floors) Check receptacle covers to see if properly seated.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per article NEC 314.28(3) (C) Covers. All pull boxes, junction boxes, and conduit, bodies shall be provided with covers</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per article NEC 314.28(3) (C) Covers. All pull boxes, junction boxes, and conduit, bodies shall be provided with covers</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface</p>




		
<p>Guestroom corridors</p> <p>(All floors)Electrical room load centers require seals for unused openings.</p>	<p>Guestroom corridors</p> <p>(All floors)Electrical room load centers require seals for unused openings.</p>	<p>Guestroom corridors</p> <p>(All floors)Light fixtures above entry doors wired with NMB cable. Protection required</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.12(A) Mechanical Execution of Work. Electrical equipment shall be installed in a neat and workmanlike manner. (A) Unused Openings. Unused openings to be sealed off.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.12(A) Mechanical Execution of Work. Electrical equipment shall be installed in a neat and workmanlike manner. (A) Unused Openings. Unused</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC Article 334.15 Exposed work. In exposed work, except as provided in 300.11(A), cable shall be installed as specified in 334.15(A) through (C). Cable shall be protected from physical damage</p>




		
<p>Storage rooms (all floors)</p> <p>Junction boxes in ceilings for air handling units no covers.</p>	<p>Storage rooms (all floors)</p> <p>Receptacles next to wash tubs require GFCI protection</p>	<p>Storage rooms (all floors)</p> <p>Work clearance in front of this electrical panel required.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per article NEC 314.28(3) (C) Covers. All pull boxes, junction boxes, and conduit, bodies shall be provided with covers</p>	<p>HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 210.8 GFCI protection required</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 Spaces about Electrical Equipment. Sufficient</p> <p>Access and working space shall be provided and maintained</p> <p>About all electrical equipment to permit ready and safe operation</p> <p>And maintenance of such equipment.</p> <p>(1) Indoor. Indoor installations shall comply with 110.26(F) (1) (a) through (F) (1) (d).</p>




		
<p>3rd floor guestroom corridors electric room load center overcurrent protective devices too high 6'-7" max height. (7'-3") in field</p>	<p>3rd floor guestroom corridors electric room load center overcurrent protective devices too high 6'-7" max height</p>	<p>3rd floor guestroom corridors conduits pictured in ceiling not properly supported.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 240.24(A) Location in or on premises</p> <p>(Accessibility)Overcurrent devices shall be readily accessible and should be installed so that center of the grip of the operating handle of switch or circuit breaker ,when in its highest position, is not more than 6'-7" above the floor or working platform.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 240.24(A) Location in or on premises</p> <p>(Accessibility)Overcurrent devices shall be readily accessible and should be installed so that center of the grip of the operating handle of switch or circuit breaker ,when in its highest position, is not more than 6'-7" above the floor or working platform.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 358.30 Securing and Supporting. (A) Securely Fastened. EMT shall be securely fastened in Place at least every 3 m (10 ft.).</p>

		
<p>2nd floor data/com room work clearance in front of electrical equipment.</p>	<p>2nd floor data/com room work AC unit disconnecting means required. Unsupported flexible conduit.</p>	<p>2nd floor guest room 210 Receptacle next to bath sink GFCI protection required</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 Spaces about Electrical Equipment. Sufficient</p> <p>Access and working space shall be provided and maintained</p> <p>About all electrical equipment to permit ready and safe operation</p> <p>And maintenance of such equipment.</p> <p>(1) Indoor. Indoor installations shall comply with 110.26(F) (1) (a) through (F) (1) (d).</p>		<p>HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 210.8 GFCI protection required</p>

		
<p>2nd floor guest room 210 Light fixture over shower sealed lens required.</p>	<p>2nd floor guest room 210 Receptacle next to wet bar sink GFCI protection required</p>	<p>2nd floor housekeeping room 209 Junction boxes in ceilings for air handling units no covers.</p>
<p>HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 410.10(A)</p> <p>Luminaires installed in wet or damp locations shall be installed such that water cannot enter or accumulate in wiring compartments, lamp holders, Or other electrical parts.</p>	<p>HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 210.8 GFCI protection required</p>	<p>HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per article NEC 314.28(3) (C) Covers. All pull boxes, junction boxes, and conduit, bodies shall be provided with covers</p>

		
<p>2nd floor housekeeping room 209 work clearance in front of this electrical panel required.</p>	<p>2nd floor housekeeping room 209 Receptacle behind dryer missing faceplate.</p>	<p>Exterior electrical equipment behind former restaurant deteriorated by means of corrosion. Required to be upgrade</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 Spaces about Electrical Equipment. Sufficient</p> <p>Access and working space shall be provided and maintained</p> <p>About all electrical equipment to permit ready and safe operation</p> <p>And maintenance of such equipment.</p> <p>(1) Indoor. Indoor installations shall comply with 110.26(F) (1) (a) through (F) (1) (d).</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 406.5 Receptacle faceplates shall be installed as to completely cover the opening and seat against the mounting surface.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>NEC article 110.27(A) Live parts of electrical equipment operating at 50 volts or more shall be guarded against accidental contact.</p>

		
<p>Pool side receptacle deteriorated conduits are rotten claims to be de energized. Advised to remove entire installation conductors and circuit breaker.</p>	<p>Pool side receptacle deteriorated conduits are rotten claims to be de energized. Advised to remove entire installation conductors and circuit breaker.</p>	<p>Main electric room roof vent rotted out water leaking. roof must be repaired (Electrical Hazard)Wet floors around energized electrical equipment.</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations. NEC article 110.11 Deteriorating Agents. Unless identified for use in the operating environment, no conductors or equipment shall be located in damp or wet locations; where exposed to gases, fumes, vapors, liquids, or other agents that have a deteriorating effect on the conductors or equipment; or where exposed to excessive temperatures.</p>

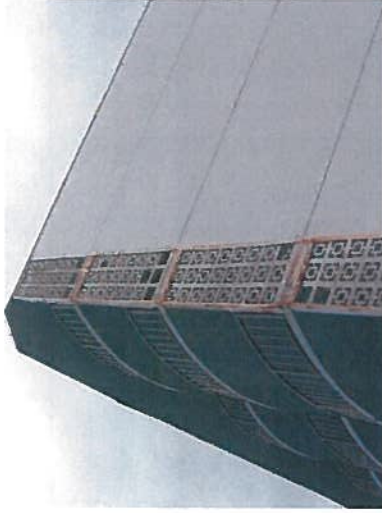
		
<p>Work clearance in front of this electrical panel required.</p> <p>Beds in the way</p>	<p>Main electric room lights do not work.</p> <p>Lighting required</p>	<p>Work clearance in front of this electrical panel required. Beds in the way</p>
<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 Spaces about Electrical Equipment. Sufficient</p> <p>Access and working space shall be provided and maintained</p> <p>About all electrical equipment to permit ready and safe operation</p> <p>And maintenance of such equipment.</p> <p>(1) Indoor. Indoor installations shall comply with 110.26(F) (1) (a) through (F) (1) (d).</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 (D) Illumination. Illumination shall be provided for all Working spaces about service equipment, switchboards, panelboards, or motor control centers installed indoors.</p>	<p>Per HCC Section 9-10. Nonconforming and defective installations.</p> <p>Per NEC article 110.26 Spaces about Electrical Equipment. Sufficient</p> <p>Access and working space shall be provided and maintained</p> <p>About all electrical equipment to permit ready and safe operation</p> <p>And maintenance of such equipment.</p> <p>(1) Indoor. Indoor installations shall comply with 110.26(F) (1) (a) through (F) (1) (d).</p>



Depicts front of County Club



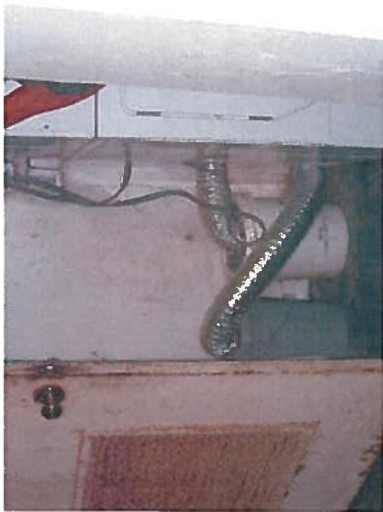
Depicts front entry to former shooters night club.



Depicts dilapidated screen tile at the rear of County Club.



Depicts close up of dilapidated screen tile at the rear of County Club.



Depicts entry to machine room and dryer vents venting into a bucket.



Depicts laundry area adjacent to elevators.



Depicts concrete spalling in the interior of the rear exit stairs.



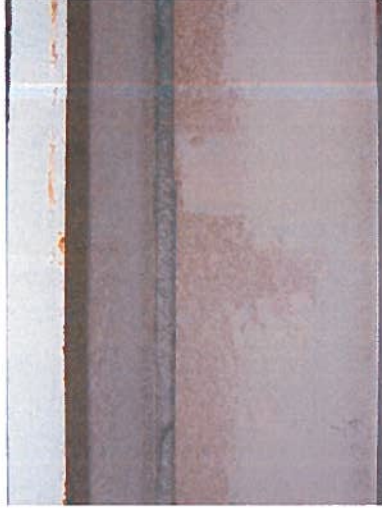
Depicts pipes penetrating 2 hour floor/ceiling fire assembly. (annular space around pipes not protected)



Depicts pipes penetrating 2 hour floor/ceiling fire assembly. (annular space around pipes not protected)



Depicts dead end corridor on the Makai wing on floors 2 thru 6.



Depicts top of corridor wall on the 6th floor. (Continuity of wall must go to the floor or ceiling above)



Depicts opening in corridor wall from unit 608. (fire tape or drywall tape around opening required)



Depicts pipes penetrating 1 hour corridor wall fire assembly. (annular space around pipes not protected)



Depicts duct penetrating 1 hour corridor wall fire assembly. (fire/smoke damper required, annular space around duct not protected)



Depicts laundry shoot door open. (door is required to be self-closing)



Depicts duct penetrating 2 hour floor/ceiling fire assembly. (fire/smoke damper required)



Depicts penetration thru 2 hour floor/ceiling fire assembly. (annular space around penetrating items must be filled with an approved material.)



Depicts duct penetrating 1 hour corridor wall fire assembly. (annular space around duct not protected)



Depicts pipes penetrating 1 hour corridor wall fire assembly. (annular space around pipes not protected)



Depicts door removed and Mauka end of corridor. (floors 2 thru 6)



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade or roof below.



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade or roof below.



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade or roof below.



Depicts wood structural member supporting walkway above. (wood material used in type IB construction must be heavy timber and have a fire-resistance rating of 2 hours)



Depicts deteriorating concrete walkway supported by wood structural members. (wood material used in type IB construction must be heavy timber and have a fire-resistance rating of 2 hours)



Depicts deteriorating concrete walkway supported by wood structural members. (wood material used in type IB construction must be heavy timber and have a fire-resistance rating of 2 hours)



Depicts deteriorating concrete walkway supported by wood structural members. (wood material used in type IB construction must be heavy timber and have a fire-resistance rating of 2 hours)



Depicts widow openings greater than 4 inches and the grade below is over 72 inches from the bottom of the opening.



Depicts widow openings greater than 4 inches and the grade below is over 72 inches from the bottom of the opening.



Depicts non-illuminated exit sign on the 5th floor.



Depicts exit door. (illuminated exit sign above or adjacent to exit door required)



Depicts two exit doors in series. (when two exit doors are in series, space between the two doors = 48 inches plus the width of the door)



Depicts defective wired glass in a fire-rated door.



Depicts door stops used to keep exit door from self-closing.



Depicts exit door at bottom of Makai stair enclosure. (illuminated exit sign required above or adjacent to the door)



Depicts exit door at bottom of Makai stair enclosure. (illuminated exit sign required above or adjacent to the door)



Depicts defective illuminated exit sign.



Depicts spacing between the exit stairs and landing.



Depicts open exit stairway. (all openings, windows and doors, within 10 feet of an exterior exit stairway shall be protected)



Depicts exterior exit stairway.



Depicts bottom of exit stairway. (directional illuminated exit sign required)



Depicts exit sign with two directional arrows on second floor. (one arrow points to an area with no exit)



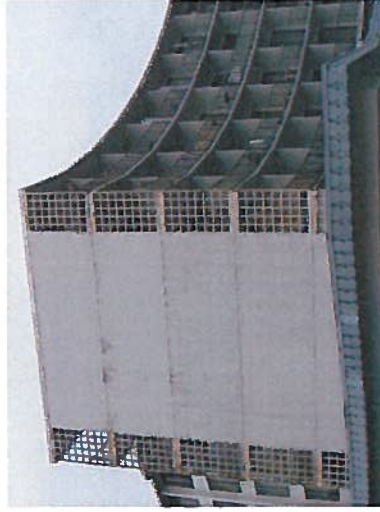
Depicts louvered door on second floor to telephone room.



Depicts louvered door on ground floor to store room.



Depicts louvered door on ground floor to store room.



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade or roof below on the Mauka wing.



Depicts emergency exit lighting installed below 80 inches. (a barrier shall be provided were the vertical clearance is less than 80 inches)



Depicts unpermitted room adjacent to the Mauka stairway on the ground floor.



Depicts entrance to pool area.



Depicts gate to pool area not closed. (gate should be self-closing and self-latching. Release mechanism located below 54 inches)



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade below at the pool area.



Depicts opening in pool barrier greater than 4 inches.



Depicts guardrail openings greater than 4 inches when walking surface is above 30 inches from the grade below at the pool area.



Depicts guardrail fasten to pool barrier with nylon rope.



Photo of Laundry Area located on ground floor ocean side of building, next to elevator.



2nd Photo of Laundry Area located on ground floor ocean side of building next to elevator.



Photo of inside of Machinery/Equipment room, showing Plumbing pipe that has been installed for Laundry Area next to elevator.



Photo of laundry waste pipe connection to sanitary drain pipe.



Photo of Room 210, Interior renovation performed with no record of Building Permit's. Newer Wash Basin.



Photo of Room 210, Interior renovation performed with no record of Building Permit's. Newer Shower Unit.

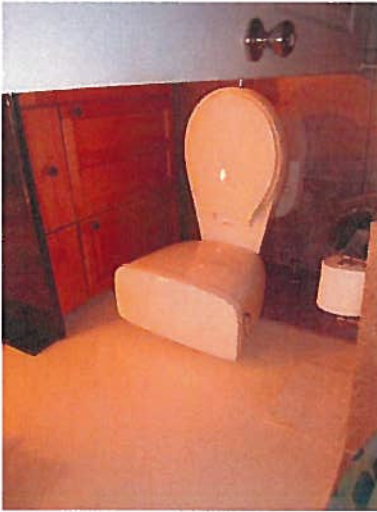


Photo of Room 210, Interior renovation performed with no record of Building Permit's. Newer Water Closet/Toilet.



Photo of Room 210, Interior renovation performed with no record of Building Permit's. Newer Bar Sink.



Photo of Hotel Laundry Room.



Another photo of Hotel Laundry Room.



Photo of Gas Piping for Gas Dryer, in Hotel Laundry Room.

